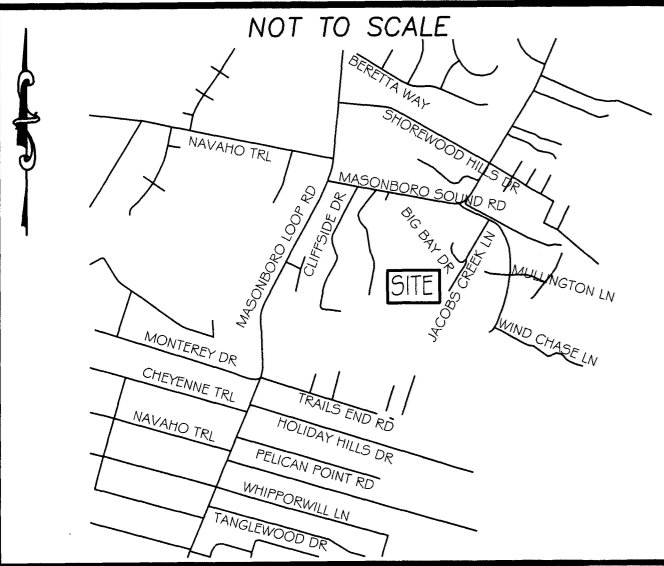


LOCATION MAP



TRAFFIC ENGINEERING NOTES:

1. A LANDSCAPING PLAN INDICATING THE LOCATION OF STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAT. PLAN SHALL ADHERE TO 50-15-17.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
3. OPEN CUT NOTES:
 - A. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5889 FOR MORE DETAILS.
 - B. CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
 - C. SUITABLE COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
 - D. OPEN CUT TO BE SAW CUT.
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
5. IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
6. CALL TRAFFIC ENGINEERING AT 341-7888 7:00 AM-5:00 PM PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
7. CONTACT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
8. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
9. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
10. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
11. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
12. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKINGS LAYOUT PRIOR TO ACTUAL STRIPING.
13. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON PLAN.
14. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10'.

ENVIRONMENTAL NOTES:

1. NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO FIT INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

WAIVERS REQUESTED

1. DRIVEWAY ANGLE OF 90 DEGREES AT INTERSECTION OF 34 FT EASEMENT AND EXISTING 50 FT ROW.
2. DRIVEWAY CURB RETURN OF 26 FT FROM INTERSECTING PROPERTY LINE AT EXISTING 50 FT ROW.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WATER & SEWER USAGE NOTES:

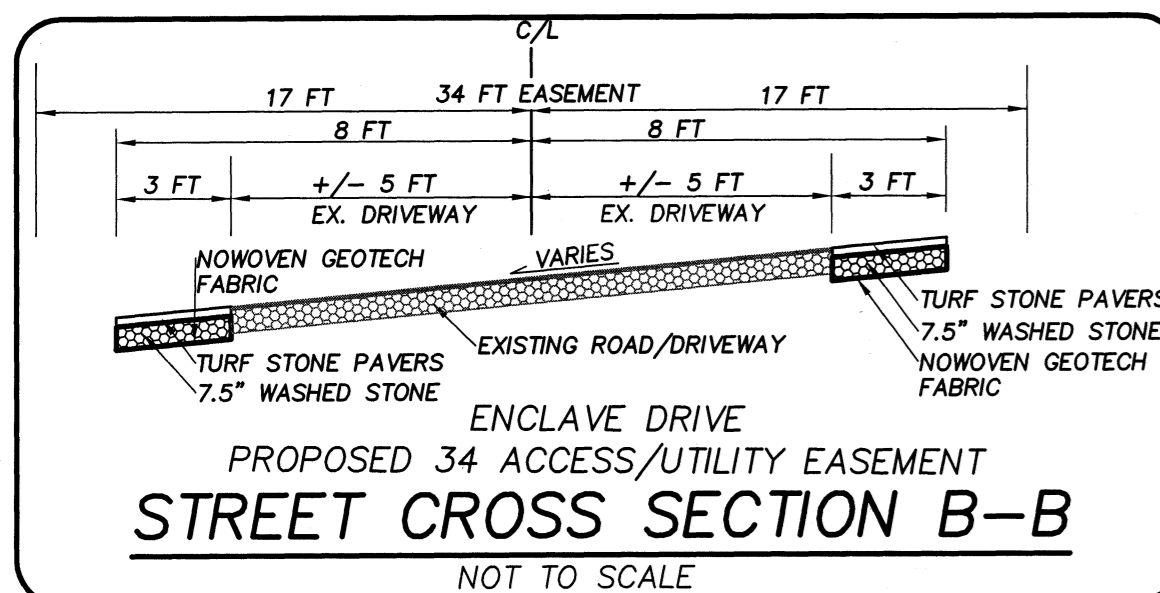
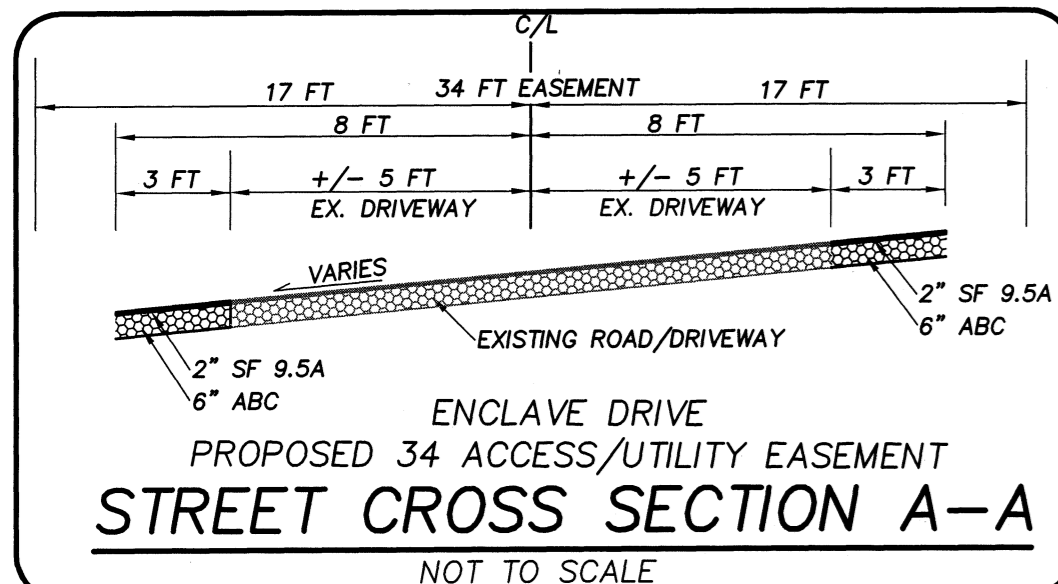
CURRENT WATER USAGE 0 GPD PROPOSED WATER USAGE 1,800 GPD
 CURRENT SEWER USAGE 0 GPD PROPOSED SEWER USAGE 1,800 GPD
 15 BEDROOMS X 120 GPD = 1,800 GPD

FIRE & LIFE SAFETY NOTES:

1. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3 FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
2. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
3. UNDERGROUND FIRE LINE MUST BE PERMITTED AND INSPECTED BY THE CITY OF WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT OF WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0896 FOR ADDITIONAL INFORMATION.
4. FIRE INSPECTOR MUST WITNESS THE HYDROSTATIC TESTING. MINIMUM TESTING TIME IS TWO HOURS.
5. A 24 HOUR MINIMUM NOTIFICATION IS NEEDED PRIOR TO ANY OF THE ABOVE TEST(S) OR INSPECTIONS BEING PERFORMED.
6. FDC CONNECTIONS CAN BE NO FURTHER THAN 40 FT FROM FIRE VEHICLE ACCESS.
7. FDC CONNECTIONS CAN BE NO FURTHER THAN 150 FT FROM A FIRE HYDRANT.
8. NEWLY INSTALLED FIRE HYDRANTS MUST BE OPERATIONAL PRIOR TO COMBUSTIBLE CONSTRUCTION MATERIALS BEING BROUGHT ON-SITE.

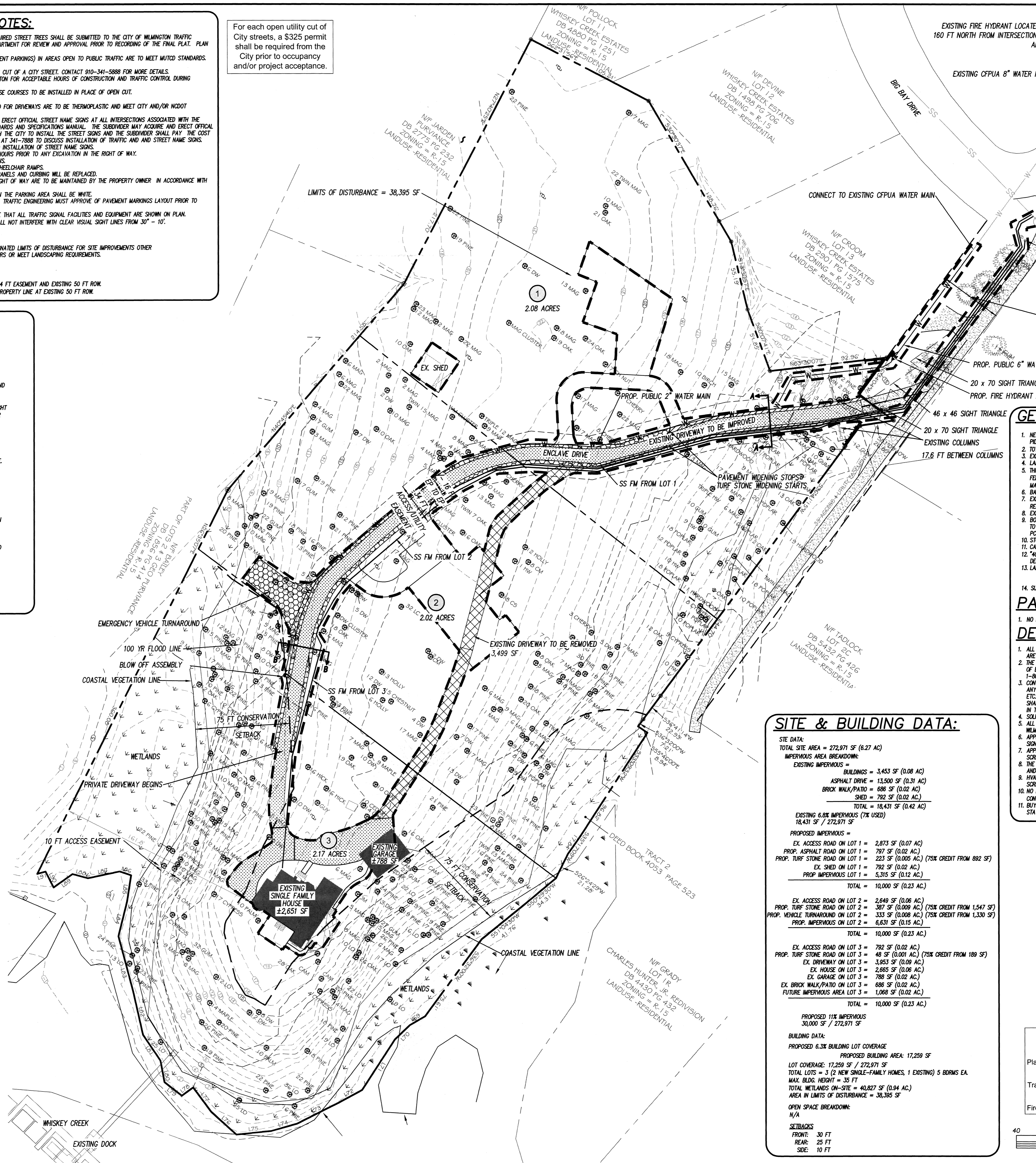
UTILITY NOTES:

1. PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-3910 FOR INFORMATION.
2. IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION THE CITY SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
3. ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CFPWA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CFPWA AND APPROVED BY USFOSCOOR OR ASSE. CALL 799-0084 FOR INFORMATION.
4. WHEN PVC WATER MAINS AND/OR PVC RETRIEVE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THE WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
5. 30" BRONZE COVERS OVER ALL WATER MAINS AND LOW PRESSURE SEWER MAIN.
6. ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CFPWA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
7. AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
8. WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO NCDENR AND "FINAL APPROVAL" ISSUED.



LEGEND

- | | |
|--|---|
| --- EXISTING BOUNDARY | --- W --- PROP WATER MAIN |
| --- CENTERLINE OF RIGHT OF WAY | --- 75 FT SETBACK |
| - - - CONTOUR LINE & ELEVATION | --- LIMITS OF DISTURBANCE |
| ⊕ SS EXISTING SANITARY SEWER & MANHOLE | ▨ WETLANDS |
| --- W --- EXISTING WATERLINE | ▨ EX. ACCESS ROAD TO REMAIN |
| ⊕ EXISTING FIRE HYDRANT | ▨ EX. ACCESS ROAD TO BE REMOVED |
| --- EXISTING STORM DRAIN | ▨ PROP. ACCESS ROAD ADDITION/TURF STONE |
| --- PROP STORM DRAIN | ▨ PROP. ACCESS ROAD ADDITION/ASPHALT |
| ⊕ PROP FIRE HYDRANT | |
| ⊕ PROP GATE VALVE | |
| ⊕ PROP WATER METER | |



SITE & BUILDING DATA:

SITE DATA:
 TOTAL SITE AREA = 272,971 SF (6.27 AC)
 IMPERVIOUS AREA BREAKDOWN:
 EXISTING IMPERVIOUS =
 BUILDINGS = 3,453 SF (0.08 AC)
 ASPHALT DRIVE = 13,500 SF (0.31 AC)
 BRICK WALK/PATIO = 698 SF (0.02 AC)
 SHED = 792 SF (0.02 AC)
 TOTAL = 18,643 SF (0.42 AC)
 EXISTING 6.8% IMPERVIOUS (7% USED)
 18,431 SF / 272,971 SF
 PROPOSED IMPERVIOUS =
 EX. ACCESS ROAD ON LOT 1 = 2,873 SF (0.07 AC)
 PROP. ASPHALT ROAD ON LOT 1 = 797 SF (0.02 AC)
 PROP. TURF STONE ROAD ON LOT 1 = 223 SF (0.005 AC) (75% CREDIT FROM 892 SF)
 EX. SHED ON LOT 1 = 792 SF (0.02 AC)
 PROP. IMPERVIOUS ON LOT 1 = 3,315 SF (0.12 AC)
 TOTAL = 10,000 SF (0.23 AC)
 EX. ACCESS ROAD ON LOT 2 = 2,649 SF (0.06 AC)
 PROP. TURF STONE ROAD ON LOT 2 = 367 SF (0.009 AC) (75% CREDIT FROM 1,547 SF)
 EX. HOUSE ON LOT 3 = 2,858 SF (0.06 AC)
 EX. GARAGE ON LOT 3 = 788 SF (0.02 AC)
 EX. BRICK WALK/PATIO ON LOT 3 = 686 SF (0.02 AC)
 FUTURE IMPERVIOUS AREA LOT 3 = 1,068 SF (0.02 AC)
 TOTAL = 10,000 SF (0.23 AC)
 PROPOSED 11% IMPERVIOUS
 30,000 SF / 272,971 SF

BUILDING DATA:
 PROPOSED 6.3% BUILDING LOT COVERAGE
 PROPOSED BUILDING AREA: 17,259 SF
 LOT COVERAGE: 17,259 SF / 272,971 SF
 TOTAL LOTS = 3 (2 NEW SINGLE-FAMILY HOMES, 1 EXISTING) 5 BDRMS EA.
 MAX. BLDG. HEIGHT = 35 FT
 TOTAL WETLANDS ON-SITE = 40,827 SF (0.94 AC)
 AREA IN LIMITS OF DISTURBANCE = 38,395 SF

OPEN SPACE BREAKDOWN:
 N/A

SETBACKS:
 FRONT: 30 FT
 REAR: 25 FT
 SIDE: 10 FT

GENERAL NOTES:

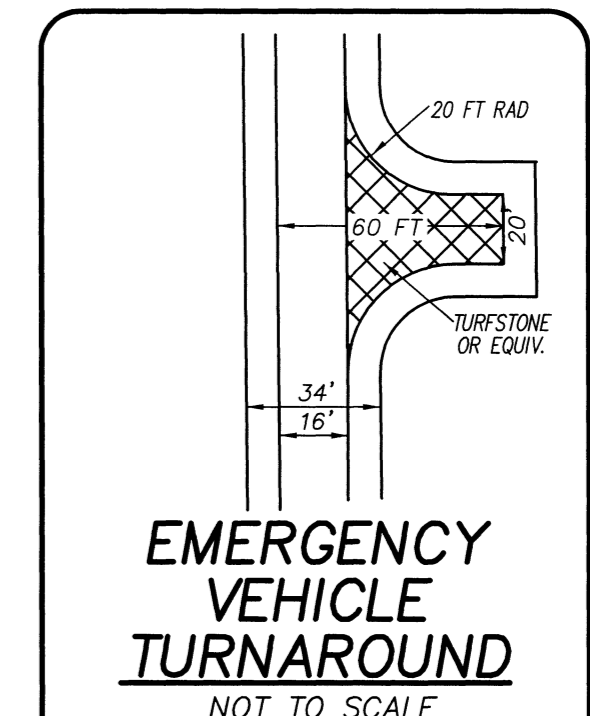
1. NEW HANOVER COUNTY PARCEL NUMBER: PDB = 807200-005-001-000
2. TOTAL PROJECT AREA: 272,971 SF (6.27 AC)
3. EXISTING ZONING DISTRICT: R-15
4. LAND CLASSIFICATION: RESIDENTIAL
5. THIS SITE IS LOCATED IN ZONE X & AE (EL 10) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720314500-L, DATED: 4/5/06.
6. BASE FLOOD ELEV. = 10
7. EXISTING SITE ADDRESS: 706 JACOBS CREEK LANE. REMAINING ACCESS EASEMENT TO "ENCLAVE DRIVE"
8. EXISTING IMPERVIOUS ON-SITE = 17,750 SF
9. BOUNDARY, TREE AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO COASTAL SITE DESIGN, PC BY PATRICK C. BROWNE LAND SURVEYING, PC. VERTICAL DATUM = 88
10. STORMWATER DRAINS TO WHISKEY CREEK, SA:HOW 18-87-28
11. CANA LANDUSE: WATERSHED RESOURCE PROTECTION AREA
12. "40" WETLANDS, CONSERVATION AREA & NORMAL HIGH WATER DELINEATED BY SOUTHWEST ENVIRONMENTAL GROUP, INC.
13. LAND OWNER - BLACK PACX INVESTMENTS, LLC
 706 JACOBS CREEK WILMINGTON, NC 28409
14. SUBDIVISION STREET DISCLOSURE TO ACCOMPANY SALE OF LOTS.

PARKING NOTES:

1. NO PARKING REQUIRED.

DEVELOPMENT NOTES:

1. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LODD AT 1-800-332-4848.
3. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND GUTTER, SIDEWALK PANELS, PAVEMENT, ETC., THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
4. SOLID WASTE DISPOSAL WILL BE CURB PICKUP.
5. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATIONS.
6. APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
7. APPLICABLE STREET FURNISHINGS SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
8. THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.
9. HVAC EQUIPMENT SHALL BE PLACED IN THE INTERIOR YARDS AND SCREENED FROM THE RIGHT-OF-WAY.
10. NO IRRIGATION CURRENTLY SPECIFIED. IF SO DESIRED THE IRRIGATION CONTROL MODULE MUST BE OUTFITTED BY A RAIN SENSOR.
11. BUYERS OF THE LOTS MUST RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.



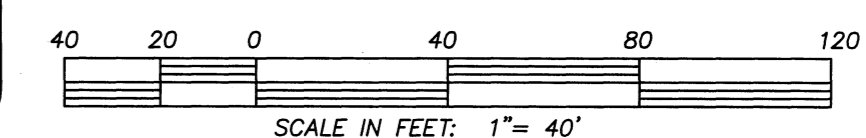
Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

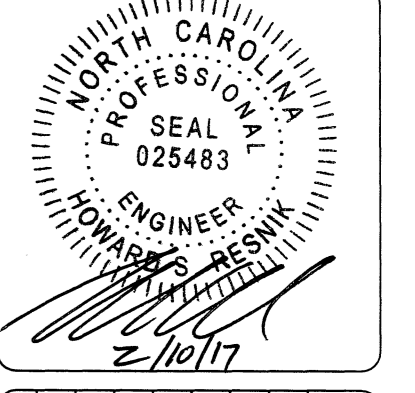
Fire _____



LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL
 P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

SITE PLAN for
JACOBS BLUFF
 "CONSERVATION TRACT"

LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA
 OWNER: BLACK PACX INVESTMENTS, LLC
 WILMINGTON, NC 28409



REV. NO.	DATE	BY	REMARKS
1	10-10-16	JSM	CONSTRUCTION RELEASE SET
2	9-27-16	JSM	REVISED IMP. CHART
3	9-20-16	JSM	ADDRESS R/C COMMENTS, CHANGED SHEET NUMBERS
4	9-28-16	JSM	REVISED LOT LAYOUT
5	11-12-16	JSM	REVISED IMP. BREAKDOWN
6	1-10-17	JSM	REVISED ENCLAVE DRIVE CROSS-SECTION AND BVA REVISIONS
7	2-7-17	JSM	MOVED TURNAROUND LOCATION, REVISED IMP. NUMBERS
8	10-31-16	JSM	

DATE: 7-23-15
 HORIZ. SCALE: 1" = 40'
 VERT. SCALE: N/A
 DRAWN BY: JSM
 CHECKED BY: HSR
 PROJECT NO.: 13-0309
 Sheet No. **3** of **7**